

Only those portions of Title 18A that are proposed to be amended are shown. Remainder of text and/or tables is unchanged.

*Title 18A*

**PIERCE COUNTY DEVELOPMENT REGULATIONS - ZONING**

**CHAPTERS:**

- 18A.05 INTRODUCTION.**
- 18A.15 DEFINITIONS.**
- 18A.17 PIERCE COUNTY (OUTSIDE COMMUNITY PLAN AREAS) USE AND DENSITY AND DIMENSION TABLES.**
- 18A.18 ALDERTON-McMILLIN USE AND DENSITY AND DIMENSION TABLES.**
- 18A.19 ANDERSON AND KETRON ISLANDS USE AND DENSITY AND DIMENSIONS TABLES.**
- 18A.20 BROWNS POINT/DASH POINT USE AND DENSITY AND DIMENSION TABLES.**
- 18A.22 FREDERICKSON USE AND DENSITY AND DIMENSION TABLES.**
- 18A.23 GIG HARBOR PENINSULA USE AND DENSITY AND DIMENSION TABLES.**
- 18A.24 GRAHAM USE AND DENSITY AND DIMENSION TABLES.**
- 18A.27 MID-COUNTY USE AND DENSITY AND DIMENSION TABLES.**
- 18A.28 PARKLAND-SPANAWAY-MIDLAND USE AND DENSITY AND DIMENSION TABLES.**
- 18A.29 SOUTH HILL USE AND DENSITY AND DIMENSION TABLES.**
- 18A.31 UPPER NISQUALLY USE AND DENSITY AND DIMENSION TABLES.**
- 18A.33 ZONE CLASSIFICATIONS.**
- 18A.35 DEVELOPMENT STANDARDS.**
- 18A.75 USE PERMIT PROCEDURES.**
- 18A.85 GENERAL PROVISIONS.**
- 18A.95 REZONE PROCEDURES.**



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2  
3 *Chapter 18A.05*  
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5 *INTRODUCTION*  
6  
7

8 **Sections:**

- 9 **18A.05.010 Title.**  
10 **18A.05.020 Purpose.**  
11 **18A.05.030 Interpretation and Application.**  
12 **18A.05.035 Recognition of Previously Granted Permits and Approvals.**  
13 **18A.05.040 Severability.**  
14 **18A.05.080 Brief User's Guide.**  
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17 **18A.05.080 Brief User's Guide.**

- 18 A. **Chapters.** The Pierce County Development Regulations - Zoning, Title 18A, contains  
19 the following Chapters:  
20 18A.05 Introduction. Establishes the purpose, title and basic rules for using the  
21 Pierce County Development Regulations - Zoning.  
22 18A.15 Definitions. See Chapter 18.25 for a complete list of defined terms.  
23 18A.17 Pierce County (Outside Community Plan Areas) Uses and Density/  
24 Dimension Tables.  
25 18A.18 Alderton-McMillin Use and Density/Dimension Tables.  
26 18A.19 Anderson and Ketron Islands Use and Density/Dimension Tables.  
27 18A.20 Browns Point/Dash Point Use and Density/Dimension Tables.  
28 18A.22 Frederickson Uses and Density and Dimension Tables.  
29 18A.23 Gig Harbor Peninsula Use and Density/Dimension Tables.  
30 18A.24 Graham Use and Density/Dimension Tables.  
31 18A.26 Key Peninsula Use and Density/Dimension Tables.  
32 18A.27 Mid-County Use and Density/Dimension Tables.  
33 18A.28 Parkland-Spanaway-Midland Uses and Density and Dimension Tables.  
34 18A.29 South Hill Uses and Density and Dimension Tables.  
35 18A.31 Upper Nisqually Uses and Density and Dimension Tables.  
36 18A.33 Zone Classifications. Lists and describes the zoning classifications and  
37 categorization of uses.  
38 18A.35 Development Standards. Provides development standards, such as density,  
39 setbacks, height, lot width, landscaping, buffering, parking, access, and  
40 other standards to cover general and specific uses; also covers home  
41 occupations, accessory dwelling units, adult entertainment, transfer of  
42 development rights, and sign standards.  
43 18A.45 [Reserved]  
44 18A.75 Use Permit Procedures. Establishes the permit processes and criteria for  
45 permits provided by this Title; e.g., Administrative Use Permits,  
46 Nonconforming Use Permits, Conditional Use Permits, Planned Unit  
47 Development Permits, and variances.



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- 18A.85 General Provisions. Outlines application requirements, review procedures for permits, appeals, amendments, and enforcement provisions.
- 18A.95 Rezone Procedures. Provides the process for rezone permits.



1 **“NEW CHAPTER”**

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4 **Chapter 18A.19**

5  
6 **ANDERSON AND KETRON ISLANDS USE AND DENSITY AND DIMENSION TABLES**

7  
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9 **Sections:**

10 **18A.19.005 Applicability.**

11 **18A.19.020 Rural Zone Classifications.**

12 **18A.19.030 Density and Dimension.**

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14 **18A.19.005 Applicability.**

15 This Chapter provides the Use Tables and Density and Dimension Tables for the Anderson  
16 and Ketron Islands Community Plan area. (See the Anderson and Ketron Islands Community  
17 Plan Area Map.)  
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**18A.19.020 Rural Zone Classifications.**

Use Categories and Use Types		ANDERSON AND KETRON ISLANDS Rural Zone Classifications (Table 18A.19.020)					
		ANDERSON ISLAND				KETRON ISLAND	
		Rural Centers	Rural Residential and Other Zones		Resource Lands	Rural Centers	Rural Residential
		RNC Rural Neighborhood Center	R10 Rural Ten RF Rural Farm		ARL Agricultural Resource Land	RNC Rural Neighborhood Center	R10 Rural Ten
		RNC	R10	RF	ARL	RNC	R10
<b>RESIDENTIAL USE CATEGORY</b>							
Fraternity or Sorority House							
Group Home	C	C	C	C	C	C	C
Mobile Home	P	P	P	P			
Mobile Home Park							
Multi-Family Housing							
Nursing Homes	P				P		
Senior Housing	P				P		
Two-Family Housing	P	P	P	P	P	P	P
Single-Family Detached Housing	P	P	P	P	P	P	P
<b>CIVIC USE CATEGORY</b>							
Administrative Government Svcs.	P				P		
Day-Care Centers	P	P1;C2			P	P1;C2	
Community and Cultural Services	P1	P1,6;C2			P1	P1;C2	
Education Facilities	A1,2	A1,2			A1,2	A1,2	
Health Services							
Postal Services	P1				P1		
Recreation, non-profit	P1	P1,2,4;C3; PFP3	P1,4	P1,4	P1	P1,2,4;C3; PFP3	
Religious Assembly	P	P1;C2,3			P	P1;C2,3	
Public Safety Services	P1	P1			P1	P1	
Transportation	P1,2;C3,4; PFP3,4	P1;C2,3,4; PFP2,3,4			P1,2;C3,4; PFP3,4	P1;C2,3,4; PFP2,3,4	
<b>UTILITIES USE CATEGORY</b>							
Telecommunication Towers or Wireless Facilities	P1;PL2	P1;PL2;C3	P1;C2,3	P1;C2,3	P1;PL2	P1;PL2;C3	
Electrical Facilities	P	P	P	P	P	P	
Electrical Generation Facilities		C				C	
Natural Gas Facilities	P1,2;C3	P1;C3,4	P1;C3,4	P1;C3,4	P1,2;C3	P1;C3,4	

NOTES	
P	Permitted.
C	Requires Conditional Use Permit.
A	Requires administrative review.
Number	Refers to level of Use Type allowed, see Sections 18A.33.200 – 18A.33.280. When no number is present, all levels of the Use Type are allowed.
PFP	If provided by a governmental entity to serve a specific public need identified in the adopted facility plan, a Public Facilities Permit is required. Otherwise, the use is allowed according to the applicable symbol.
PL	Priority Location Criteria, see Section 18A.35.140 D.



Use Categories and Use Types		ANDERSON AND KETRON ISLANDS Rural Zone Classifications (Table 18A.19.020)					
		ANDERSON ISLAND				KETRON ISLAND	
		Rural Centers	Rural Residential and Other Zones		Resource Lands	Rural Centers	Rural Residential
		RNC Rural Neighborhood Center	R10 Rural Ten RF Rural Farm		ARL Agricultural Resource Land	RNC Rural Neighborhood Center	R10 Rural Ten
	RNC	R10	RF	ARL	RNC	R10	
Organic Waste Processing Facilities		C1,2; PFP1,2,3	P2; PFP1,2,3	P2; PFP1,2,3		C1,2; PFP1,2,3	
Pipelines	P	P	P	P	P	P	
Sewage Collection Facilities							
Sewage Treatment Facilities							
Stormwater Facilities	P	P	P	P	P	P	
Waste Disposal Facilities		C1,2,3,5; PFP1,2,3,5	C1,2,3,5; PFP1,2,3,5	C1,2,3,5; PFP1,2,3,5		C1,2,3,5; PFP1,2,3,5	
Waste Transfer Facilities	P1; PFP2,4	P1;C2,4; PFP2,4			P1; PFP2,4	P1;C2,4; PFP2,4	
Water Supply Facilities	P1;C2; PFP2	P1;C2; PFP2	P1;C2; PFP2	P1;C2; PFP2	P1;C2; PFP2	P1;C2; PFP2	
Utility and Public Maintenance Facilities	P	P1;C2,3; PFP2,3			P	P1;C2,3; PFP2,3	
<b>ESSENTIAL PUBLIC FACILITIES USE CATEGORY [RESERVED]</b>							
<b>OFFICE/BUSINESS USE CATEGORY</b>							
Administrative and Professional Offices	P1				P1		
Educational Services							
<b>RESOURCE USE CATEGORY</b>							
Agricultural Product Sales	P1,5	P1,5	P1,5	P1,5	P1,5	P1,5	
Agricultural Supply Sales	P1,2,3,4		P1,2,3,4	P1,2,3,4	P1,2,3,4		
Agricultural Services	P	C	P	P	P	C	
Animal Production, Boarding and Slaughtering		P1;C2	P	P		P1;C2	
Crop Production	P1	P1;C2	P	P	P1	P1;C2	
Fish Processing, Hatcheries and Aquaculture		P1	P1	P1		P1	
Forestry	P1;C2	P1	P1	P1	P1;C2	P1	
Surface Mines	C;PFP	C;PFP	C;PFP	C;PFP	C;PFP	C;PFP	
<b>COMMERCIAL USE CATEGORY</b>							
Adult Business							
Amusement and Recreation	P1,5	C6-7			P1,5	C6-7	
Billboards							
Building Materials and Garden Supplies	P1,2				P1,2		

NOTES	
P	Permitted.
C	Requires Conditional Use Permit.
A	Requires administrative review.
Number	Refers to level of Use Type allowed, see Sections 18A.33.200 – 18A.33.280. When no number is present, all levels of the Use Type are allowed.
PFP	If provided by a governmental entity to serve a specific public need identified in the adopted facility plan, a Public Facilities Permit is required. Otherwise, the use is allowed according to the applicable symbol.
PL	Priority Location Criteria, see Section 18A.35.140 D.



Use Categories and Use Types		ANDERSON AND KETRON ISLANDS Rural Zone Classifications (Table 18A.19.020)					
		ANDERSON ISLAND				KETRON ISLAND	
		Rural Centers	Rural Residential and Other Zones		Resource Lands	Rural Centers	Rural Residential
		RNC Rural Neighborhood Center	R10 Rural Ten RF Rural Farm		ARL Agricultural Resource Land	RNC Rural Neighborhood Center	R10 Rural Ten
		RNC	R10	RF	ARL	RNC	R10
Bulk Fuel Dealers		C				C	
Business Services							
Buy-Back Recycling Center		P				P	
Commercial Centers							
Eating and Drinking Establishments		P1-3;C4				P1-3;C4	
Food Stores		P1				P1	
Lodging			C1,5				C1,5
Mobile, Sales	Manufactured and Modular Home						
Motor Vehicle Rental, Repair and Service	Vehicles and Related Equipment Sales, Repair and Service	P1,2				P1,2	
Personal Services		P1				P1	
Storage		C1,2				C1,2	
Pet Sales and Services		P1				P1	
Rental and Repair Services		P1				P1	
Sales of General Merchandise		P1				P1	
Wholesale Trade							
INDUSTRIAL USE CATEGORY							
Basic Manufacturing							
Contractor Yards							
Food and Related Products							
Industrial Services and Repair							
Intermediate Manufacturing and Intermediate/Final Assembly							
Motion Picture, Television and Radio Production Studios							
Off-site Hazardous Waste Treatment and Storage Facilities							
Printing Publishing and Related Industries							
Recycling Processor							
Salvage Yards/Vehicle Storage							
Warehousing, Distribution and Freight Movement							

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NOTES	
P	Permitted.
C	Requires Conditional Use Permit.
A	Requires administrative review.
Number	Refers to level of Use Type allowed, see Sections 18A.33.200 – 18A.33.280. When no number is present, all levels of the Use Type are allowed.
PFP	If provided by a governmental entity to serve a specific public need identified in the adopted facility plan, a Public Facilities Permit is required. Otherwise, the use is allowed according to the applicable symbol.
PL	Priority Location Criteria, see Section 18A.35.140 D.



**18A.19.030 Density and Dimension.**

A. **Purpose.** The purpose of this Section is to establish density and dimensional standards for development. These standards are established to provide flexibility in project design and promote high density development in urban areas when utilizing incentives.

B. **Tables.**

1. **Interpretation of Tables.** The density and dimension tables are arranged in a matrix format on two separate tables; Table 18A.20.030 B.2.-1 includes Urban Zone Classifications. Development standards are listed down the left side of both tables and the zones are listed across the top. The matrix cells contain the applicable requirements of the zone. The footnotes in the matrix identify specific requirements applicable to a specific use or zone. A blank box indicates that the cell is not applicable.

2. **Density and Dimension Tables.**

Density and Dimension	ANDERSON AND KETRON ISLANDS Rural Zone Classifications (Table 18A.19.030)					
	ANDERSON ISLAND			KETRON ISLAND		
	Rural Centers	Rural Residential and Other Zones		Resource Lands	Rural Centers	Rural Residential
	RNC Rural Neighborhood Center	R10 Rural Ten RF Rural Farm		ARL Agricultural Resource Land	RNC Rural Neighborhood Center	R10 Rural Ten
	RNC	R10	RF	ARL	RNC	R10
<b>Base Density (du/ac) (1)(11)(12)</b>	(6)	0.1	0.1 (2)	0.1 (2)	(6)	0.1
<b>Maximum Density (du/ac) (11)(12)</b>	(6)	0.1	0.1 (2)	0.1 (2)	(6)	0.2 (2)
<b>Minimum Lot Dimension</b>		60'				60'
<b>Minimum Lot Size (acres)</b>		10 (10)	10 (10)	10 (10)		10 (10)
<b>Minimum Setback, State Highways and Major Arterials (13)(9)</b>	25'	25'	25'	25'	25'	25'
<b>Minimum Setback, Other Roads (13)(9)</b>	15'	25'	25'	25'	15'	10'(19)
<b>Minimum Setback, Rear (13)</b>	0' (5)	30'	30'	30'	0' (5)	30'
<b>Minimum Setback, Interior (13)</b>	0' (5)	10'	30' (18)	30' (18)	0' (5)	10'
<b>Height</b>	40'	40'	40'	40'	40'	40'

3. **Footnotes to Tables.** This subsection pertains to the parenthetical numbers in Tables 18A.20.030 B.2.-1 and B.2.-2.

- (1) **Base Density.** These densities may be achieved outright by following the development standards of Chapter 18A.35, Development Standards, and any applicable Design Standards and Guidelines in Title 18J.
- (2) **Maximum Density.** In an MSF classification sanitary sewers are required to achieve the maximum density. In all other classifications maximum densities shall be achieved through one of the following methods: the application of density incentives and exceptions (18A.35.020 C.), transfer of development rights, or planned unit



developments. An applicant may plan for maximum density through shadow platting (see also 18J.15.020 F.).

- (5) **Rural Centers, Setbacks.** The minimum setback for any new senior and assisted-living center or commercial building abutting a rural residential classification shall be 30 feet. The minimum setback for an industrial building or use abutting a rural residential classification shall be 100 feet.
- (6) **Rural Centers, Density.** The residential densities in rural Centers shall be the same as permitted in the adjacent rural designations. If the Rural Center is abutting more than one rural designation, the least restrictive density provisions will apply except when abutting lands within a Case II Volcanic Hazard Area, the more restrictive density shall apply. If the Rural Center is surrounded by resource lands, the density of the resource lands will apply. The densities for senior and assisted-living centers shall be based upon the requirements of the Health Department.
- (9) **State Highways, Major Arterials, and All Other Roads.** These setbacks are minimum requirements abutting the specific right-of-way classification except that when abutting State Highways or rights-of-way that have been identified for improvement in the County Six-Year Road Plan, or most current version thereof, the minimum setback shall be 25 feet.
- (10) **Minimum Rural Lot Size Reduction.** On Anderson Island, minimum lot size may be reduced to 2 acres within a short subdivision or a formal subdivision and to 5 acres within a large lot division provided the short subdivision, large lot division, or formal subdivision remains in compliance with the density requirements of the applicable zone.  
On Ketron Island, minimum lot size may be reduced to 1 acre within a short subdivision or a formal subdivision and to 5 acres within a large lot division provided the short subdivision, large lot division, or formal subdivision remains in compliance with the density requirements of the applicable zone.
- (11) **Allowable Dwelling Units - Calculating.** Within rural zone classifications, the allowable number of dwelling units shall be calculated by multiplying the gross site acreage by the allowed density in dwelling units/acres. The result of these calculations shall equal the number of dwelling units allowed. If a calculation results in a partial dwelling unit, the partial dwelling unit shall be rounded to the nearest whole number. Less than .5 shall be rounded down. Greater than or equal to .5 shall be rounded up.

Examples:

17 acres x 1 du/5 acres = 3.4 (rounded to 3 allowable dwelling units)

15 acres x 1 du/10 acres = 1.5 (rounded to 2 allowable dwelling units)



- (12) On a lot containing both residential and non-residential uses, the density shall be based only on that portion of the lot not utilized by the non-residential use, including parking and storage associated with the non-residential use. If the residential development is located within the same structure as the non-residential use, the entire lot may be used to calculate density.
- (13) Landscape buffer requirements of Section 18A.35.030 may result in setbacks greater than indicated in Tables 18A.19.030.
- (18) A lot of record that is 5 acres or less in size may reduce an interior setback to 10 feet.
- (19) Attached and detached garages must be set back a minimum of 15 feet from the road right-of-way.



*Chapter 18A.33*

**ZONE CLASSIFICATIONS**

**Sections:**

**Division I. Purpose and Interpretation**

- 18A.33.010 Purpose.**
- 18A.33.020 List of Zone Classifications.**
- 18A.33.030 Zoning Atlas.**
- 18A.33.050 Interpretation of Uses and Use Tables.**
- 18A.33.070 Exempted Uses.**

**Division II. Zone Classifications**

- 18A.33.100 Urban Zone Classifications.**
- 18A.33.150 Rural and Resource Zone Classifications.**
- 18A.33.160 Overlays.**
- 18A.33.180 Airport Overlay Zone Classification.**
- 18A.33.190 Military Lands.**

**Division III. Description of Use Categories**

- 18A.33.200 List of Categories.**
- 18A.33.210 Residential Use Category - Description of Use Categories.**
- 18A.33.220 Civic Use Category - Description of Use Categories.**
- 18A.33.230 Utilities Use Category - Description of Use Categories.**
- 18A.33.240 Essential Public Facilities Category - Description of Use Categories.**
- 18A.33.250 Office Business Use Category - Description of Use Categories.**
- 18A.33.260 Resource Use Category - Description of Use Categories.**
- 18A.33.270 Commercial Use Category - Description of Use Categories.**
- 18A.33.280 Industrial Use Category - Description of Use Categories.**
- 18A.33.285 Single-Family Detached Use Exception.**
- 18A.33.290 Rural Zone Use Exception.**

**Division IV. Accessory Uses**

- 18A.33.300 Accessory Uses.**
- 18A.33.400 Temporary Uses.**



**18A.33.150 Rural and Resource Zone Classifications.**

- F. **Specific Zone Classifications.** The land use designations identified through the Comprehensive Plan or Community Plan as identified below may be used to implement particular zones:
1. Pierce County Comprehensive Plan (those rural areas for which a community plan has not been developed or updated since January 1, 1995). See the Use Tables in 18A.17.020.
    - a. Reserve-5: Rsv5
    - b. Rural Separator: RSep
    - c. Rural 10: R10
    - d. Rural 20: R20
    - e. Rural 40: R40
    - f. Rural Activity Center: RAC
    - g. Rural Neighborhood Center: RNC
    - h. Gateway Community: GC
    - i. Agricultural Resource Lands: ARL
    - j. Forest Land: FL
    - k. Public Institution: PI
    - l. New Fully Contained Community: NFCC
    - m. Master Planned Resort: MPR
  2. Upper Nisqually Valley Community Plan. See the Use Tables in 18A.31.020.
    - a. Rural 10: R10
    - b. Rural 20: R20
    - c. Rural 40: R40
    - d. Gateway Community: VR,VC,TC
    - e. Agricultural Resource Lands: ARL
    - f. Forest Land: FL
  3. Gig Harbor Peninsula Community Plan. See the Use Tables in 18A.23.020.
    - a. Reserve-5: Rsv5
    - b. Rural 10: R10
    - c. Rural Sensitive Resource: RSR
    - d. Rural Neighborhood Center: RNC
    - e. Essential Public Facility-Rural Airport South: EPF-RAS
    - f. Essential Public Facility-Rural Airport North: EPF-RAN
  4. Graham Community Plan. See the Use Tables in 18A.24.020.
    - a. Reserve-5: Rsv5
    - b. Rural 10: R10
    - c. Rural 20: R20
    - d. Rural Sensitive Resource: RSR
    - e. Rural Farm: RF
    - f. Rural Activity Center: RAC
    - g. Rural Neighborhood Center: RNC
    - h. Agricultural Resource Lands: ARL
    - i. Forest Land: FL
  5. Mid-County Community Plan. See the Use Tables in 18A.27.020.



- a. Rural Separator: RSep
- b. Rural Neighborhood Center: RNC
- c. Agricultural Resource Lands: ARL
- 6. Key Peninsula Community Plan. See the Use Tables in 18A.26.020.
  - a. Rural 10: R10
  - b. Rural Sensitive Resource: RSR
  - c. Rural Farm: RF
  - d. Park and Recreation: PR
  - e. Rural Activity Center: RAC
  - f. Rural Neighborhood Center: RNC
  - g. Agricultural Resource Lands: ARL
- 7. Alderton-McMillin Community Plan: See the Use Tables in 18A.18.020.
  - a. Rural Neighborhood Center: RNC
  - b. Rural 10: R10
  - c. Rural 20: R20
  - d. Reserve-5: Rsv5
  - e. Rural Industrial Center: RIC
  - f. Rural Farm: RF
  - g. Agricultural Resource Lands: ARL
- 8. Anderson and Ketron Islands Community Plan: See the Use Tables in 18A.19.020.
  - a. Rural Neighborhood Center: RNC
  - b. Rural 10: R10
  - c. Rural Farm: RF
  - d. Agricultural Resource Lands: ARL

**18A.33.220 Civic Use Category – Description of Use Categories.**

Civic Use Category includes facilities or services that are strongly associated with public need or social importance such as educational, cultural, medical, protective, and governmental.

**C. Community and Cultural Services.** Community and Cultural Services Use Type refers to establishments primarily engaged in the provision of services that are strongly associated with community, social, or public importance. Typical uses include libraries, museums, art galleries, senior centers, community centers, performing arts theaters, community clubs and organizations, granges, blood banks, organizational camps, food banks, and shelters for the homeless. Also see Essential Public Facilities, Residential, and Commercial Use Categories.

**Level 1:** Uses that serve primarily the neighborhood in which they are located and are open to the general public on an equal basis, with or without fee. Examples include: community clubs, senior centers, indoor wedding facilities, and grange halls.

**Level 2:** Uses that generally serve more than one neighborhood and are open to the general public on an equal basis, with or without fee. Examples include: boys and girls clubs, libraries,



- museums, blood banks, food banks, shelters for the homeless, outdoor wedding facilities, cemeteries and associated services.
- Level 3:** Uses that serve one or more neighborhoods and are restricted to members who are chosen through invitation and their guests. Examples include: fraternal organizations, but excluding fraternities or sororities with on-site living quarters, and private clubs.
- Level 4:** Uses that generally serve more than one neighborhood and are open to the general public on an equal basis, with or without fee. Total floor area not to exceed 2,000 square feet. Examples include: boys and girls clubs, libraries, museums, blood banks, food banks.
- Level 5:** Organizational camps operated and maintained by government agencies, including tribal governments, public and private educational systems and community service organizations that provide various civic functions. Overnight accommodations, such as cabins or dormitories, designated campsites together with amenities for camp users such as meeting and assembly spaces, food services, recreational facilities, and medical services may be provided. "Organizational Camp" does not include establishments defined as a "group home" or that include as its primary purpose the treatment of addictions, correctional or disciplinary training or housing of homeless persons.
- Level 6:** Uses that generally serve a community and are open to the general public on an equal basis, with or without fee. Examples include: libraries that serve the local community and historical museums focused on the community's history and heritage.

**18A.33.260 Resource Use Category – Description of Use Categories.**

Resource Use Category includes the production or sale of plant and animal products and other resource-based industries such as forestry, mining, aquaculture, or the sale of products associated with resource-based industry.

- F. **Fish Processing, Hatcheries and Aquaculture.** Fish Processing, Hatcheries and Aquaculture Use Type refers to uses which involve the production, processing or sales of finfish, shellfish, or other aquatic or marine products within a confined space and under controlled feeding, sanitation, harvesting, or processing procedures. Examples include salmon farms, oyster growing operations, geoduck growing operations, and fish hatcheries.

- Level 1:** Raising or production of finfish, shellfish, or other aquatic or marine animal or plant species, but not including processing of aquatic or marine products as either a primary use or accessory use.
- Level 2:** Processing or sales of finfish, shellfish or other aquatic or marine products.



**18A.33.270 Commercial Use Category - Description of Use Categories.**

Commercial activities include the provision of services and the sale, distribution, or rental of goods that benefit the daily needs of the general public which are not otherwise classified as civic, office, or industrial activities. The Commercial Use Category has been separated into the following types based upon distinguishing features such as: nature of business activity and type of goods or products sold or serviced. Any store or variety of stores exceeding 40,000 square feet shall be considered a Commercial Centers Use Type.

- O. **Storage.** Storage Use Type refers to businesses engaged in the storage of items for personal and business use. This use type includes storage of vehicles, boats and recreational vehicles only when stored for personal use and not for sale, repair or maintenance purposes. Examples of Personal Storage uses include mini-warehousing and boat storage yards. For maintenance or repair of recreational vehicles or boats, also see the Motor Vehicles and Related Equipment Sales/Rental/Repair and Services Use Type.

- Level 1:** Establishments on parcels of less than 1 acre.
- Level 2:** Establishments on parcels of 1 to 4 acres.
- Level 3:** Establishments on parcels of more than 4 acres.
- Level 4:** Establishments on parcels of less than 4 acres. In the South Hill Community Plan area, see 18J.50.035 C. for specific setback, fencing and landscaping standards that apply.
- Level 5:** Establishments with totally enclosed mini-storage warehouses 2 to 3 stories high, not to exceed a building footprint of 25,000 square feet.



Only those portions of Title 18J that are proposed to be amended are shown. Remainder of text and/or tables is unchanged.

*Title 18J*

**DEVELOPMENT REGULATIONS - DESIGN STANDARDS AND GUIDELINES**

**CHAPTERS:**

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- 18J.15 COUNTY-WIDE URBAN AND RURAL DESIGN STANDARDS AND GUIDELINES.**
- 18J.17 SMALL LOT DESIGN.**
- 18J.20 UPPER NISQUALLY VALLEY COMMUNITY PLAN AREA DESIGN STANDARDS AND GUIDELINES.**
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- 18J.130 ANDERSON AND KETRON ISLANDS COMMUNITY PLAN AREA DESIGN STANDARDS AND GUIDELINES.**



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3 **“NEW CHAPTER”**  
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6 *Chapter 18J.130*  
7 **ANDERSON AND KETRON ISLANDS COMMUNITY PLAN AREA DESIGN**  
8 **STANDARDS AND GUIDELINES**  
9

10  
11 **Sections:**

12 **18J.130.010 Goals.**

13 **18J.130.020 Applicability.**

14 **18J.130.030 Exemptions.**

15 **18J.130.040 General Requirements.**

16 **18J.130.050 Site Inventory and Analysis Requirements.**

17 **18J.130.060 Site Design.**

18 **18J.130.070 Building Design.**

19 **18J.130.080 Planting Design.**

20 **18J.130.090 Lighting.**  
21

22 **18J.130.010 Goals.**

23 The goals of design review within the Anderson and Ketron Islands Community Plan area  
24 are:

- 25 A. To strive for development that maintains and preserves the privacy associated with the  
26 rural character of Anderson and Ketron Islands, protects cultural, artistic, and scenic  
27 resources, and enhances compatibility among residential, commercial, and civic uses;  
28 B. To utilize existing site characteristics such as clusters of trees, vegetative screening and  
29 topography to separate potentially conflicting land uses and soften the appearance of  
30 new development;  
31 C. To encourage the enhancement and preservation of land or buildings of unique or  
32 outstanding scenic or historical significance;  
33 D. To encourage well designed buildings and sites;  
34 E. To ensure conservation, enhancement and proper management of natural resources,  
35 while providing for a balanced pattern of development and the needs of residents and  
36 property owners; and  
37 F. To implement low impact development design standards where feasible.  
38

39 **18J.130.020 Applicability.**

- 40 A. This Chapter shall apply to any development activity that is required to obtain building  
41 or development permits or approvals, unless otherwise exempted by 18J.130.030.  
42 B. This Chapter contains design objectives, standards and guidelines for the following  
43 aspects of development: site inventory and analysis; site design; building design;  
44 planting design; and, lighting design.  
45 C. Table 18J.130-1 identifies the regulated activities and the type of design review that is  
46 required:  
47



**Table 18J.130-1 Type of Review Required for Regulated Activities**

Review Type	New Commercial (2) (includes binding site plan; commercial building permits; use permit)	Comml. or Industrial Expansion ≤ 40% of the building value (1)	Comml. or Industrial Expansion 41% to 60% of the building value (1)	Comml. or Industrial Expansion > 60% of the building value (1)	Site Devel. Permit (assoc. with comml. activity)	Preliminary Plat	New Single Family Resid.
<b>Site Inventory/Analysis</b>							
Inventory	X			X	X	X	
Analysis	X			X	X	X	
<b>Site Design</b>							
Drainage	X			X	X	X	
Clearing, Topo, Grading	X				X	X	
<b>Building Design</b>							
Architectural Character	X(3)		X(3)	X(3)			
Exterior Building Materials	X(3)						X(3)
Building Mass and Size	X(3)						
Architectural Detailing	X(3)		X(3)	X(3)			
Window Treatment	X(3)						
Building Color	X(3)	X(3)	X(3)	X(3)			
<b>Planting Design</b>							
Planting Design	X(3)	X(3)	X(3)	X(3)			
<b>Lighting</b>							
Lighting Orientation	X(3)	X(3)	X(3)	X(3)			X(3)
Lighting Intensity	X(3)			X(3)			X(3)
Lighting Design	X(3)			X(3)			X(3)

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**Footnotes:**

- (1) Commercial and industrial expansion excludes any interior improvements to an existing structure. The percentage calculation is cumulative over time and is calculated based on the "Building Valuation Data" table compiled by the International Code Council and published in the Building Safety Journal, as used by the Building Official.
- (2) Only those areas of a site that are associated with a new construction activities will be subject to the standards of > 60 percent value expansion described above.
- (3) Applies to Ketron Island only.

1 **18J.130.030 Exemptions.**

- 2 The following activities are exempt from the design review provisions of this Chapter:
- 3 A. Expansion, site development, remodeling, or reconstruction of existing single-family
  - 4 residences and their accessory structures;
  - 5 B. Interior work that does not alter the exterior of the structure;
  - 6 C. Agricultural uses and structures (not including structures used for retail or commercial
  - 7 services);
  - 8 D. Normal building maintenance, including the repair or maintenance of structural
  - 9 members;
  - 10 E. Utility facilities such as electrical and telephone distribution lines, sewage and water
  - 11 conveyance pipelines, natural gas pipelines, etc.;
  - 12 F. Short plats and large lots (commercial buildings in short plats and large lots are not
  - 13 exempt) on Anderson Island; and
  - 14 G. Civic buildings on Anderson Island.

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16 **18J.130.040 General Requirements.**

- 17 A. Each applicant shall demonstrate the proposed project complies with the applicable
- 18 design standards and guidelines contained within this Chapter.
- 19 B. Any application that fails to include the information required under this Chapter shall be
- 20 returned to the applicant as an incomplete application.
- 21 C. To maintain the rural character of the islands, all developments should be designed to be
- 22 consistent with that character.

23  
24 **18J.130.050 Site Inventory and Analysis Requirements.**

25 Site Inventory and Analysis objectives and standards are intended to ensure a proposed

26 development is integrated with the natural resources and features of the site.

- 27 A. **Inventory and Analysis Requirements.** Any regulated activity requiring site design
- 28 review as set forth in Table 18J.130-1 shall include a site inventory and a composite site
- 29 analysis.
  - 30 1. **Site Inventory.** Site plans required under these standards shall provide, in writing
  - 31 and through graphic illustration, the following information:
    - 32 a. The location of on-site natural features, including, but not limited to: soils,
    - 33 vegetation, hydrogeologic and geologically hazardous areas, wetlands, and
    - 34 watercourses;
    - 35 b. The location of existing and planned roadways, open space and trail systems, and
    - 36 utilities;
    - 37 c. Surrounding land uses, zoning, and overlay districts; and
    - 38 d. The project's provisions for compatibility with adjacent sites.
  - 39 2. **Site Analysis.** Site plans required under these standards shall demonstrate through
  - 40 written and graphic illustration that the proposed development concept achieves:
    - 41 a. Compliance with the applicable design objectives, standards and guidelines
    - 42 contained in this Chapter;
    - 43 b. Preservation of natural features and critical areas, such as wildlife habitat areas,
    - 44 hydrogeologic and geologically hazardous areas, significant trees or wooded
    - 45 areas, wetlands, watercourses, etc., by incorporating them into overall site
    - 46 design.
      - 47 (1) Applicants shall demonstrate that on-site project elements preserve or
      - 48 enhance the integrity and function of on-site critical areas.



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2 **18J.130.060 Site Design.**

3 Site Design objectives and standards are intended to ensure the built environment is  
4 integrated with the natural environment and to provide connections to surrounding land uses.

5 **A. Site Design.**

6 1. **Design Objective - Site Drainage.** Manage storm drainage as close to the source of  
7 the water as practical. Design driveways, roadways and parking areas to minimize  
8 the volume of storm drainage leaving their surfaces. Employ a variety of innovative  
9 techniques to ensure that storm drainage, water quality and water quantity impacts  
10 are minimized.

11 a. **Standards.**

12 (1) The following methods or a combination of these methods shall be utilized  
13 in the design of the storm water management system.

14 (a) Grade the developed portion of a site appropriately (2-4 percent slope)  
15 and direct storm water to adjacent undisturbed open space or buffer  
16 areas as low velocity, sheet flow for infiltration; (in accordance with the  
17 Dispersion specifications in the Low Impact Development Technical  
18 Guidance Manual for Puget Sound or in accordance with Chapter 5.3  
19 Best Management Practices for On-Site Stormwater Management found  
20 in the 2005 Stormwater Management Manual for Western  
21 Washington); or

22 (b) When storm water ponds are necessary, design ponds as a site amenity.  
23 Storm drainage facilities are deemed site amenities when side slopes do  
24 not exceed a 4:1 ratio; ponds are improved and landscaped with low-  
25 maintenance, native plant materials (grass lined storm ponds do not  
26 meet this criteria) and are designed in a curvilinear, non-rectangular  
27 shape; or

28 (c) Place storm drainage detention and retention features into underground  
29 vaults.

30 (2) Projects within a Rural Ten zone shall utilize Low Impact Development  
31 (LID) standards. These standards are intended to afford flexibility in  
32 stormwater system design while providing the highest level of stormwater  
33 control to protect downstream property owners and promote groundwater  
34 recharge.

35 b. **Guidelines.**

36 (1) Contour and vegetate stormwater ponds to simulate natural wetland features  
37 in conjunction with required landscape areas.

38 (2) Encourage the use of storm drainage "bio-retention or rain garden areas" on  
39 individual lots or near clusters of residential units or buildings. Rain  
40 gardens are designed to accept roof, parking, driveway, road, and property  
41 drainage through a filter of native vegetation. Rain gardens also often  
42 include storage capabilities and are used to reduce the size of common storm  
43 drainage ponds.

44 (3) Minimize changes to natural topography in effort to maintain  
45 predevelopment flow path lengths in natural drainage patterns. Limit  
46 grading and clearing disturbance to road, utility, building pad, landscape  
47 areas and minimum additional area needed to maneuver equipment.



- (4) Maintain surface roughness on the site to reduce flow velocities and encourage sheet flow on the development by preserving native vegetation, forest litter and micro surface topography.
- (5) Projects within a Rural Neighborhood Center zone should utilize Low Impact Development (LID) standards. These standards are intended to afford flexibility in stormwater system design while providing the highest level of stormwater control to protect downstream property owners and promote groundwater recharge.

2. **Design Objective – Site Clearing, Topography, and Grading.** Design development to fit the natural topography of the site and limit clearing and grading to minimize disturbance to soils, vegetation, and water flows.

a. **Standards.**

- (1) Where a use permit, building permit, or preliminary or short plat has been approved, no logging, clearing, grading or filling shall be conducted until such time as erosion control and stormwater drainage plans have been approved by Pierce County. Subsequent to such approval, tree removal, clearing, grading and filling shall be limited to those areas reasonably necessary to construct roads and utilities and clear building footprints.

b. **Guidelines.**

- (1) Large cuts and fills requiring tall (exceeding 8-feet) or long (exceeding 20-foot) retaining walls are not appropriate for buildings, roads or parking facilities.
- (2) Begin clearing, grading and heavy construction activity during the driest months and conclude by late fall when rainfall and associated soil compaction, erosion, and sediment yield from equipment activity increases.

**18J.130.070 Building Design.**

The purpose of this Section is to improve the quality of development by instituting design standards and guidelines covering new building construction and significant exterior remodels. The design guidelines and standards are intended to reflect the rural character observed on Ketron Island. The intent of the standards and guidelines is to exemplify the rural character through the use of human scale designs and natural building materials.

A. **New Building Construction.**

- 1. **Design Objective - Architectural Character.** Design buildings to incorporate features such as facades, roof forms, porches, window treatments, and architectural detailing. Avoid the use of standardized "corporate or franchise" style in the design of buildings. (See Figures 18J.130-1, 18J.130-2, 18J.130-3, and 18J.130-4)



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**Figure 18J.130-1**  
**False front, store front,**  
**and wood siding**



**Figure 18J.130-2**  
**Rural with timber, native stone,**  
**and porch detailing**



**Figure 18J.130-3**



**Figure 18J.130-4**



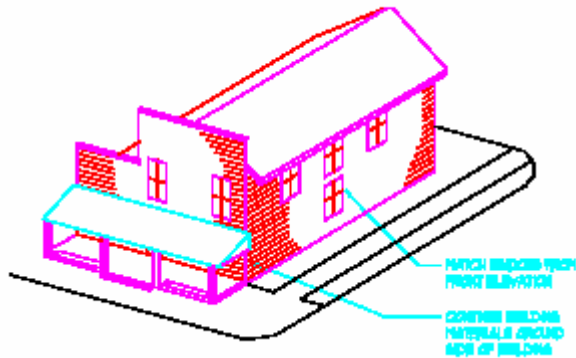
**a. Standards.**

- (1) All building sides shall be characterized by the same quality and type of building materials and detailing.
- (2) Accessory structures shall be designed of the same building materials, roof forms, and color as primary structures that conform to these design standards.
- (3) Where building elevations are visible, architectural details and features shall not be abruptly ended and shall transition a distance equivalent to at least 20 percent of the adjacent building elevation. (See Figures 18J.130-5 and 18J.130-6)

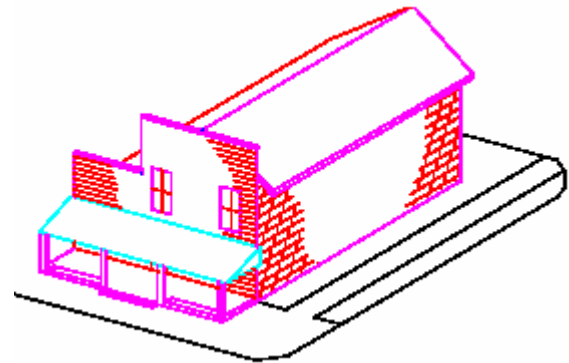


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**Figure 18J.130-5  
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**Figure 18J.130-6  
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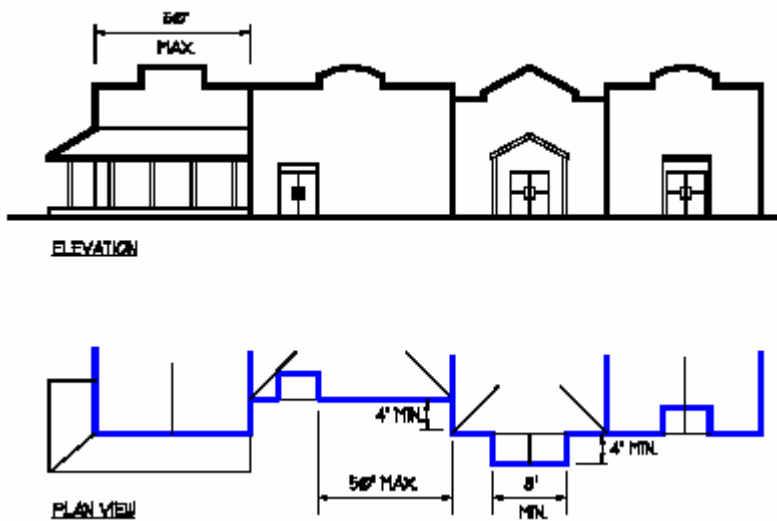


2. **Design Objective – Exterior Building Materials.** Use natural materials such as stone, wood, heavy timbers, and/or as exterior building materials. Synthetic materials that simulate a natural look are acceptable.
  - a. **Standards.**
    - (1) Wood, shake, stone, brick, cedar shingle, or timber materials shall be used for facade treatment.
    - (2) Asphalt composition, cedar shake, or metal shall be used for roof materials.
  - b. **Guidelines.**
    - (1) Encourage the use of native stone or brick as an accent.
    - (2) Building materials used for site features such as fences, and screen walls should complement a primary on-site structure that conforms to these design standards.
3. **Design Objective - Building Mass and Size.** In Rural Neighborhood Centers, design new buildings at a mass that is compatible and at a scale that fits with the rural island character.
  - a. **Standards.**
    - (1) Entrances shall incorporate one of the following building elements:
      - (a) Doorways recessed at least 4 feet from the building facade;
      - (b) Dormers; or
      - (c) Porches.
    - (2) The use of long blank walls is prohibited. The maximum allowable length of an uninterrupted building elevation is 50 feet. Visual interruptions to the planes of exterior walls may be achieved through one of the following methods:
      - (a) Modulating building facades at depth of least 4 feet and a width of at least 8 feet;
      - (b) Porches; or
      - (c) Porticos (See Figure 18J.130-7).



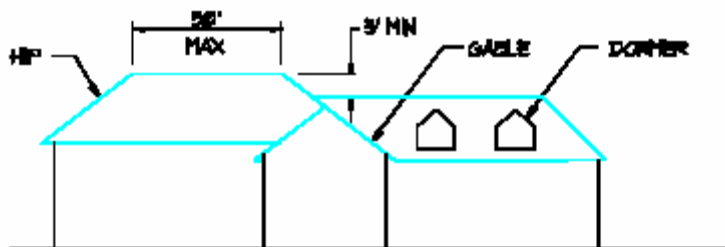
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Figure 18J.130-7



- (3) Roof lines shall be interrupted every 50 feet with gable, hip, or dormer roof forms or a vertical shift of at least 5 feet. (See Figure 18J.130-8)

Figure 18J.130-8

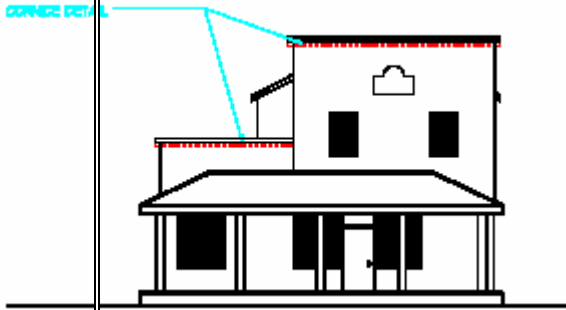


- 4. **Design Objective - Architectural Detailing.** In Rural Neighborhood Centers, design new buildings and exterior remodels to include but not limited to, cornice details, trim details, timber details, knee bracing, wood siding, logs, and covered porches.
  - a. **Standard.** Historic architectural detailing shall be incorporated into building design. At least one element from each of the following categories shall be included in the design of all new buildings and accessory structures:
    - (1) Details (See Figures 18J.130-9, 18J.130-10, 18J.130-11 and 18J.130-12)
      - (a) Cornice details
      - (b) Trim details
      - (c) Timber details
      - (d) Knee bracing

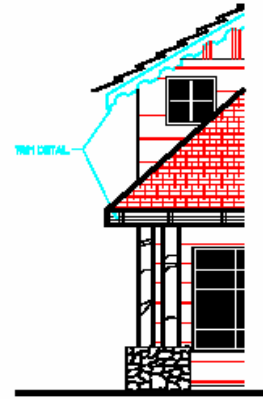


1 **Figure 18J.130-9**

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**Figure 18J.130-10**

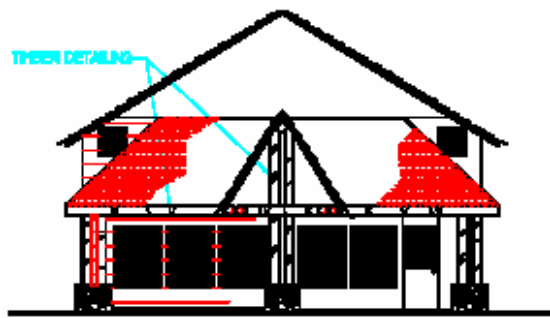


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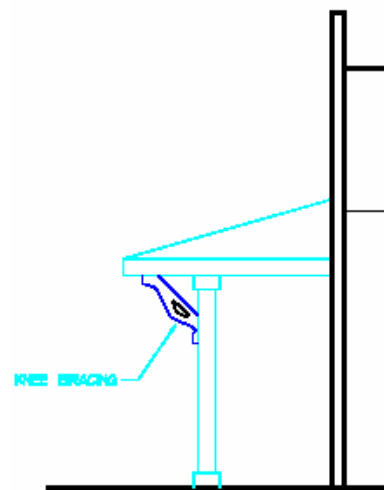
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5 **Figure 18J.130-11**

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**Figure 18J.130-12**



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2) Porches and Entryways (see Figure 18J.130-13)

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(a) Porches

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(b) Porticos

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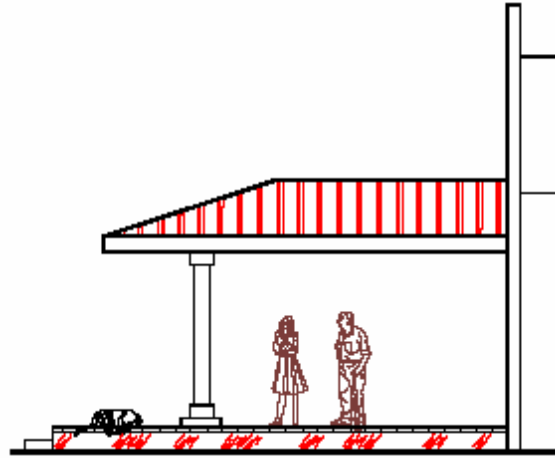
(c) Recessed entryways of at least 4 feet

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Figure 18J.130-13



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(3) Siding (See Figure 18J.130-14)

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(a) Board and baton

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(b) Horizontal clapboard

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(c) Beveled planks

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(d) Cedar shingle

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(e) Stone

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(f) Brick

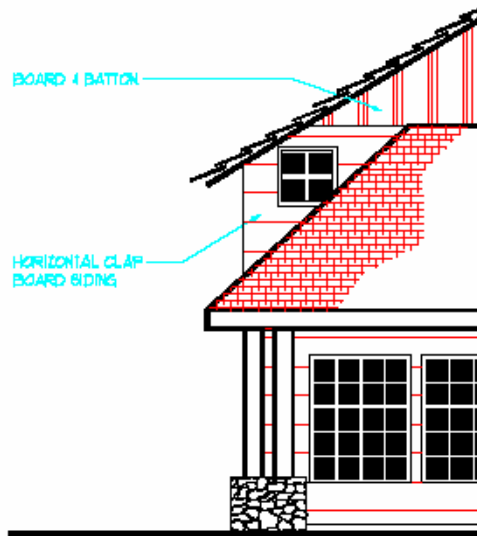
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(g) Timber

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Figure 18J.130-14



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5. **Design Objective - Window Treatment.** In Rural Neighborhood Centers, use windows that emphasize traditional Northwest architecture. (See Figures 18J.130-15 and 18J.130-16)

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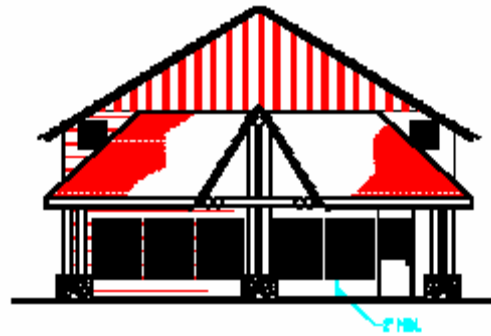


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Figure 18J.130-15



Figure 18J.130-16



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a. **Standards.**

- (1) Window patterns shall be characterized by vertical or square proportions. When horizontal window areas are desired, groups of windows shall be installed, limiting large single pieces of glass.
- (2) For business uses only, the area of first story windows on street front elevations shall be at least twice the area of second story windows along the same side of the building.
- (3) One of the following window treatments shall be used:
  - (a) Storefront windows;
  - (b) Bay windows;
  - (c) Multi-paned windows, or the appearance of multi-paned windows, in one over one, two over two, or four over four patterns.
- (4) Windows sills shall be situated at least 2 feet above the interior finished floor.
- (5) The use of reflective or mirrored windows is prohibited.
- (6) Window trim shall be used.

- 6. **Design Objective - Building Color.** In Rural Neighborhood Centers, use building colors that are representative of a rural, forestry, or agricultural community.
  - a. **Standard.** Facade colors shall not be used to identify specific tenants as typified by national corporate fast food restaurants and gasoline stations.

b. **Guidelines.**

- (1) The use of natural woods are encouraged over the use of paint.
- (2) Major architectural trim or details should complement the main building's base color. Color is normally applied to major architectural trim and details such as window trim, corner siding trim, doors and door frames, knee bracing, and columns.
- (3) Minor architectural details should be highlighted with minor accent color that complements base and major trim color. Minor accent color is normally applied to window sash, doors, storefront frames and small architectural elements.
- (4) Murals may be used on building facades and are encouraged to reflect the history or natural landscape but may not be used for advertisement.



- (5) Tinting may be used as an accessory element to a permitted window treatment.
- (6) Earth tone colors should be used for masonry building materials.
- (7) The base color of the main building or a complementary major accent color should be used for metal roofs.

B. **Planting Design.** "The purpose of this Section is to encourage the use of native vegetation as plantings. Wherever possible, planting designs should emphasize the preservation and enhancement of existing, native vegetation. The use of native and drought tolerant plantings is also encouraged in all projects." (Refer to 18A.35.030 for other landscaping and buffer requirements and guidelines.)

1. **Design Objective - Planting Design.** Design plantings to incorporate native plant species. Drought tolerant plantings are allowable substitutes for native species to the extent that invasive species are not introduced into the area. The following planting design standards are intended to supplement the Landscape Standards, PCC 18A.35.030, by providing landscape criteria for projects within Rural Neighborhood Centers.

a. **Standards.**

- (1) Native plant species shall be utilized in accordance with plant lists maintained by the Department of Planning and Land Services.
- (2) At least 50 percent of all trees, shrubs, and/or ground covers shall be native plant species.

b. **Guidelines.**

- (1) Where possible, landscape areas should be distributed evenly throughout the parking area. However, clustering of landscaping is permitted to accommodate preservation of existing vegetation or specific design objectives (e.g., solar access, water conservation, passive recreation, transit facilities, or architectural design).
- (2) The use of sodded or seeded lawn should be avoided except where necessary for recreation or outdoor gathering places.
- (3) Wherever possible, the aesthetic contouring of ponds, in conjunction with other landscape features, is desired.

C. **Lighting.** The purpose of this Section is to offer design standards for lighting that will enhance visibility and security while accenting key architectural elements and landscape features.

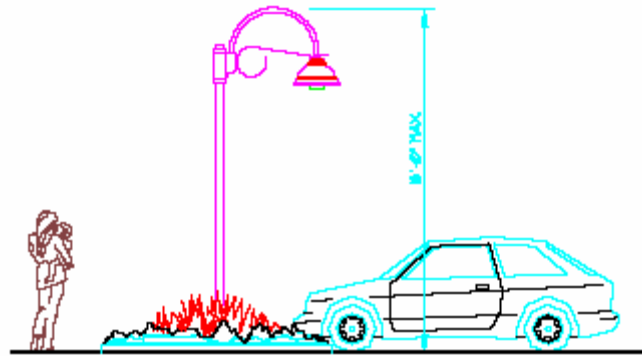
1. **Design Objective - Lighting Orientation.** Orient lighting in a manner that will accent buildings and landscape features while minimizing glare.

a. **Standards.**

- (1) All lights more than 7 feet above the ground shall be cut-off or downward directional lighting. (See Figure 18J.130-17)



Figure 18J.130-17



(2) Lighting shall be of an indirect source. (See Figures 18J.130-18 and 18J.130-19)

Figure 18J.130-18  
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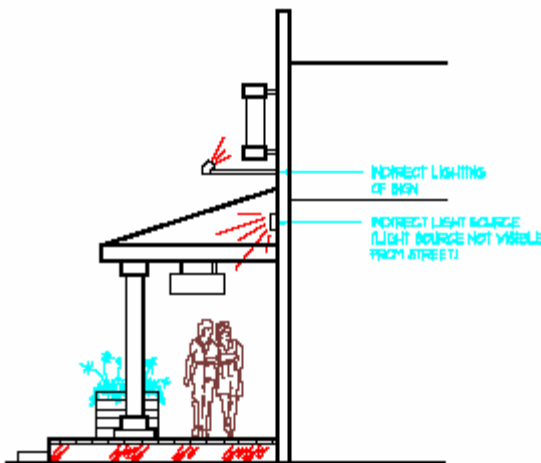
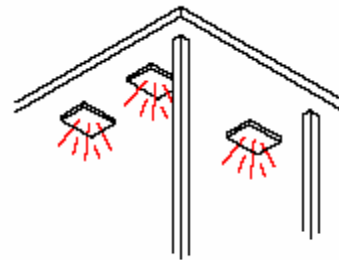


Figure 18J.130-19  
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2. **Design Objective - Lighting Intensity.** Illuminate large areas with multiple, low intensity light sources rather than single, high-intensity light sources.
  - a. **Standards.**
    - (1) Illumination shall not exceed an average of 1.2 footcandles along street frontages.
    - (2) Illumination shall not exceed an average of 0.6 footcandles within parking facilities.
3. **Design Objective - Lighting Design.** Use lighting fixtures of a traditional color and design that will accent and complement on-site buildings that conform to these design standards. (See Figure 18J.130-20)



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a. **Standards.**

- (1) Ornamental pole lamps that reflect the area's historical character shall be used.
- (2) On-site light standards shall not exceed a height of 16 feet.

